

AVAILABLE FOR LEASE

JOIN BRAND NEW PROPOSED STARBUCKS

599 Middle Country Road | Middle Island, NY



EXCLUSIVE RETAIL LEASING

KATZ & ASSOCIATES

RETAIL REAL ESTATE ADVISORS

Ian Goldfeder
ASSOCIATE
ian@katzretail.com
(845) 735-2254

Russel Helbling
MANAGING DIRECTOR
russelhelbling@katzretail.com
(212) 219-6515

PROPERTY OVERVIEW

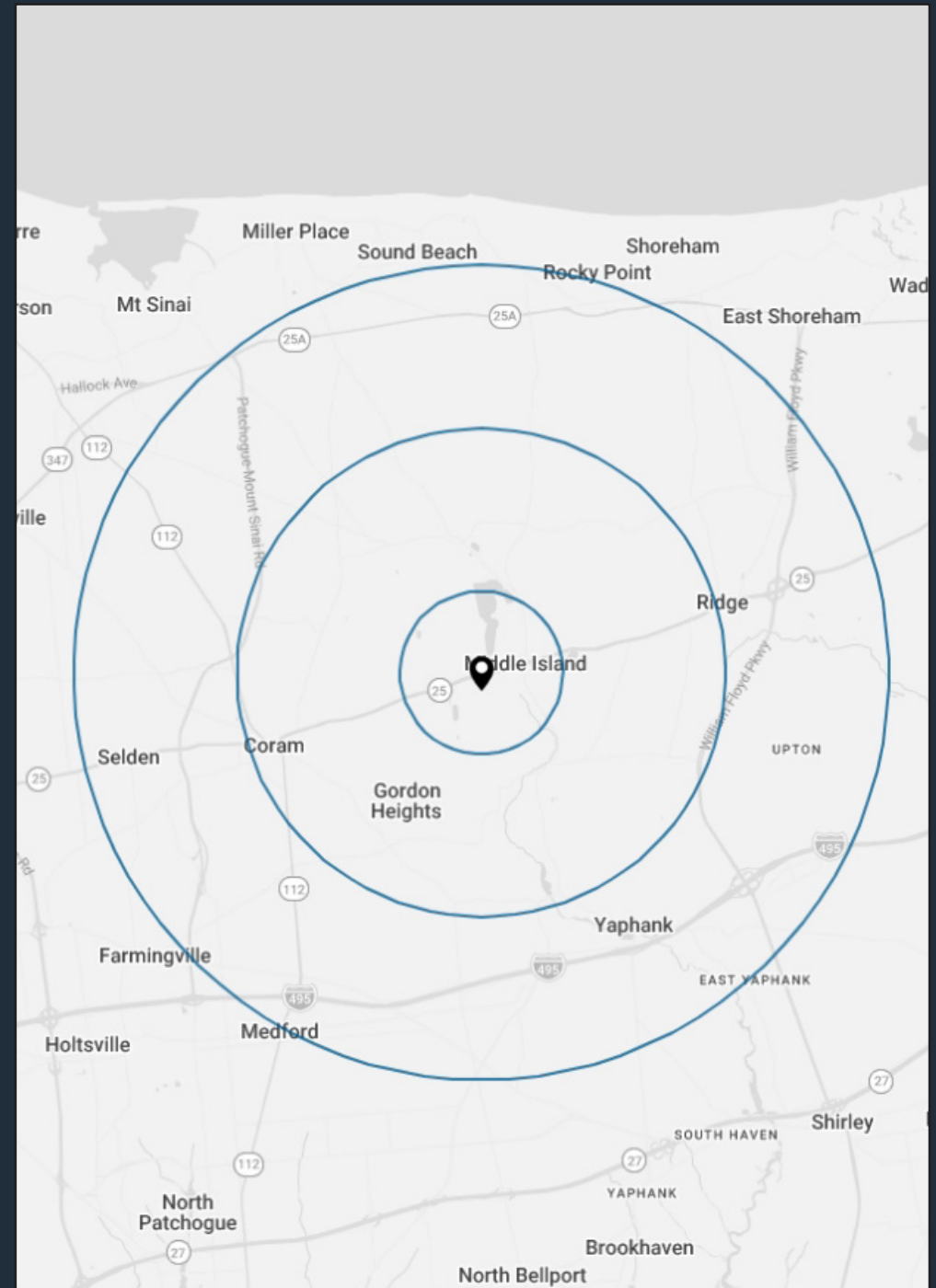
- New proposed Starbucks opening on-site – driving strong daily traffic and national-brand visibility
- 1,197 SF retail space available adjacent to Starbucks – ideal for complementary food, service, or retail users
- Prime location on Middle Country Rd with excellent frontage, signage, and steady vehicle flow
- Positioned in a growing trade area with strong local demographics and convenient access for surrounding residential communities

DEMOGRAPHICS

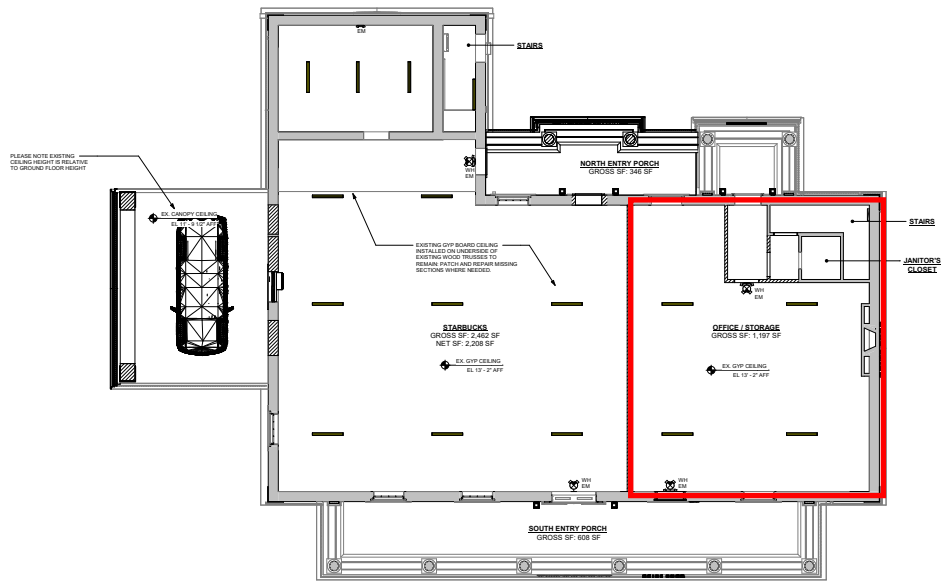
	1 MILE	3 MILES	5 MILES
POPULATION	4,446	39,504	128,806
HOUSEHOLDS	1,980	14,579	47,250
EMPLOYEES	998	8,225	28,199
AVERAGE HH INCOME	\$114,891	\$137,919	\$146,323

TRAFFIC COUNTS

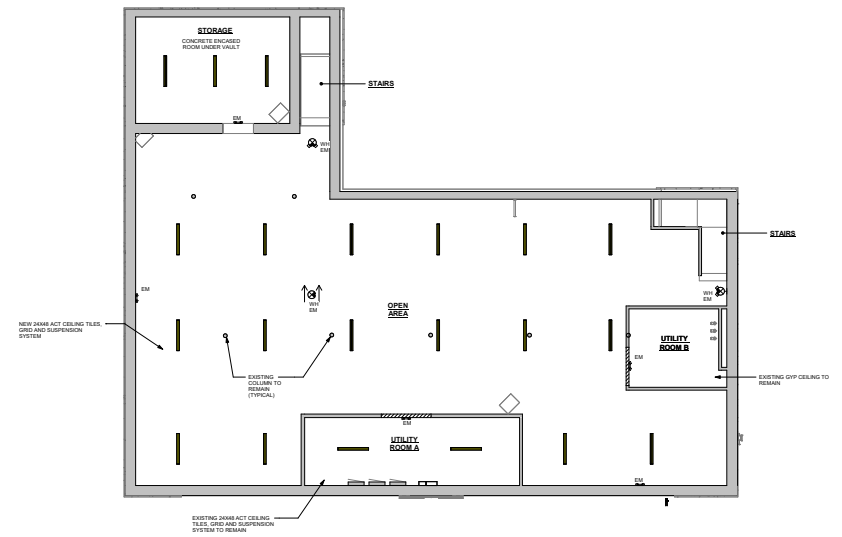
MIDDLE COUNTRY ROAD	19,744 AADT
LONG ISLAND EXPRESSWAY	101,215 AADT
WILLIAM FLOYD PARKWAY	31,048 AADT



FLOOR PLANS

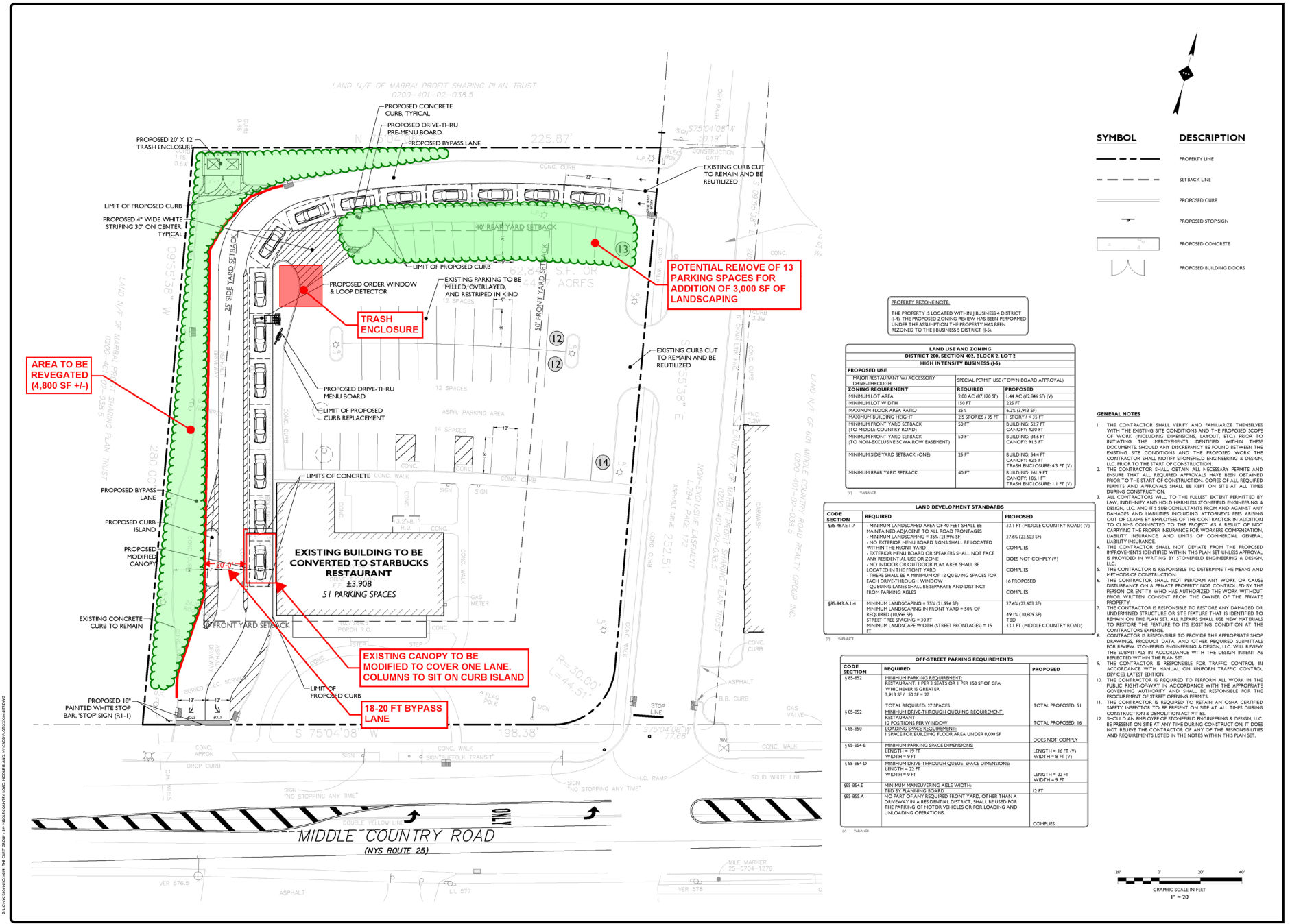


1ST FLOOR
REFLECTED CEILING | PROPOSED PLAN



CELLAR
REFLECTED CEILING | PROPOSED PLAN





SYMBOL DESCRIPTION

- PROPERTY LINE
- - - SETBACK LINE
- PROPOSED CURB
- PROPOSED STOP SIGN
- PROPOSED CONCRETE
- PROPOSED BUILDING DOORS

PROPERTY ZONE NOTE:
 THE PROPERTY IS LOCATED WITHIN BUSINESS 4 DISTRICT (B4). THE PROPOSED ZONING REVIEW HAS BEEN PERFORMED UNDER THE ASSUMPTION THE PROPERTY HAS BEEN REZONED TO THE BUSINESS 4 DISTRICT (B4).

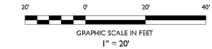
LAND USE AND ZONING		
DISTRICT 200, SECTION 402, BLOCK 2, LOT 2		
HIGH INTENSITY BUSINESS (I-4)		
PROPOSED USE	MAJOR RESTAURANT W/ ACCESSORY DRIVE-THRU	SPECIAL PERMIT USE (TOWN BOARD APPROVAL)
ZONING REQUIREMENT	REQUIRED	PROPOSED
MINIMUM LOT AREA	3,000 AC (67,120 SF)	1.44 AC (62,864 SF) (V)
MINIMUM LOT WIDTH	150 FT	133 FT
MAXIMUM FLOOR AREA RATIO	25%	4.7% (2,913 SF)
MAXIMUM BUILDING HEIGHT	23.5 STORIES / 75 FT	1 STORY + 35 FT
MINIMUM FRONT YARD SETBACK (TO MIDDLE COUNTRY ROAD)	50 FT	BUILDING: 32 FT CANOPY: 42 FT TRASH ENCLOSURE: 43 FT (V)
MINIMUM FRONT YARD SETBACK (TO NON-EXCLUSIVE SIDE ROW EASTMENT)	50 FT	BUILDING: 38.4 FT CANOPY: 41.5 FT
MINIMUM SIDE YARD SETBACK (ONE)	25 FT	BUILDING: 54.4 FT CANOPY: 42.5 FT TRASH ENCLOSURE: 43 FT (V)
MINIMUM REAR YARD SETBACK	40 FT	BUILDING: 46.7 FT CANOPY: 38.1 FT TRASH ENCLOSURE: 1.1 FT (V)

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY CONSULTING ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, IDENTIFY AND HOLD HARMLESS CONSULTING ENGINEERING & DESIGN, LLC AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY, INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- THE CONTRACTOR SHALL NOT DENY FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THE PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY CONSULTING ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHOD OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDESIGNED STRUCTURE OR SITE FEATURE THAT IS DISTURBED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. CONSULTING ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
- THE CONTRACTOR IS REQUIRED TO RESTORE ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE REQUIREMENT OF STREET OPENING PERMITS.
- THE CONTRACTOR IS REQUIRED TO REMAIN AN OSHA CERTIFIED SAFETY ANCHOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- SHOULD AN EMPLOYEE OF CONSULTING ENGINEERING & DESIGN, LLC BE INJURED ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

LAND DEVELOPMENT STANDARDS		
CODE SECTION	REQUIRED	PROPOSED
§5-452.1-2	WEIGHT LANDSCAPING AREA OF 40 FEET SHALL BE MAINTAINED ADJACENT TO ALL ROAD FRONTAGES MINIMUM LANDSCAPING = 20% (1,960 SF) NO EXTERIOR MENU BOARD SIGNS SHALL BE LOCATED WITHIN THE FRONT YARD EXTERIOR MENU BOARD OR SPEAKERS SHALL NOT FACE A NY RESIDENTIAL USE OR ZONE NO INDOOR OR OUTDOOR PLAY AREA SHALL BE LOCATED IN THE FRONT YARD THERE SHALL BE A MINIMUM OF 12 QUEUING SPACES FOR EACH DRIVE THROUGH WINDOW QUEUING LANES SHALL BE SEPARATE AND DISTINCT FROM PARKING SPACES	33.1 FT (RESIDE COUNTRY ROAD) (V) 37.6K (23,403 SF) COMPLIES DOES NOT COMPLY (V) COMPLIES 14 PROPOSED
§5-541.1-4	MINIMUM LANDSCAPING = 16% (1,564 SF) MINIMUM LANDSCAPING IN FRONT YARD + 50% OF REQUIRED (10,996 SF) STREET TREE SPACING = 30 FT MINIMUM LANDSCAPE WIDTH (STREET FRONTAGES) = 15 FT	37.6K (23,403 SF) 26.1K (16,809 SF) TED 33.1 FT (RESIDE COUNTRY ROAD)

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§16-452	MINIMUM PARKING REQUIREMENT: RESTAURANT 1 PER 150 SEATS OR 1 PER 150 SF OF GFA, WHICHEVER IS GREATER 3.9 / 3' / 10' 3" = 27	TOTAL PROPOSED: 51
§16-452	TOTAL REQUIRED: 27 SPACES	TOTAL PROPOSED: 51
§16-452	MINIMUM DRIVE-THRU/QUEUING REQUIREMENT: RESTAURANT 13 POSITIONS PER WINDOW LOADING SPACE REQUIREMENT: 13 SPACES FOR BUILDING FLOOR AREA UNDER 8,000 SF	TOTAL PROPOSED: 14
§16-454-B	MINIMUM PARKING SPACE DIMENSIONS: LENGTH = 7'9" WIDTH = 9' FT	LENGTH = 16 FT (V) WIDTH = 8 FT (V)
§16-454-D	MINIMUM DRIVE-THROUGH QUEUE SPACE DIMENSIONS: LENGTH = 7'2" WIDTH = 9' FT	LENGTH = 22 FT WIDTH = 9 FT
§16-454-E	MINIMUM MANEUVERING AISLE WIDTH: 10' BY PLANNING BOARD	12 FT
§16-455-A	NO PART OF ANY REQUIRED FRONT YARD, OTHER THAN A DRIVEWAY IN A RESIDENTIAL DISTRICT, SHALL BE USED FOR THE PARKING OF MOTOR VEHICLES OR FOR LOADING AND UNLOADING OPERATIONS.	COMPLIES



BUILDING WALL SIGNAGE - SOUTH ELEVATION							
DESIGN DID #	PROPOSED SIGNAGE TYPE	QUANTITY		SIZE AND SQUARE FOOTAGE		HEIGHT	
		ALLOWED	PROPOSED	TOTAL ALLOWABLE SQ. FOOTAGE	PROPOSED SIGNAGE SQUARE FEET	ALLOWABLE SIGNAGE HEIGHT	PROPOSED SIGNAGE HEIGHT
22615	NEW 22" INTERNALLY ILLUMINATED STARBUCKS WORDMARK/CHANNEL LETTERS MOUNTED ON RACEWAY SECURED TO EXISTING SLATE ROOF. LETTERS ARE CONSTRUCTED OF BLACK STEEL ENCLOSURES WITH WHITE ACRYLIC FRONT FACE. (AREA = 11'-10" X 17'-6" = 32.0 SF)	1	1 (COMPLIES)	32 SF MAX	32.0 SF (COMPLIES)	18'-0" AFF	13'-1" AFF (COMPLIES)
	2ND TENANT SIGNAGE	1	1 (COMPLIES)	32 SF MAX	TBD	18'-0" AFF	TBD
SUMMARY		SIGNAGE IS COMPLIANT. NO VARIANCE NEEDED FOR PROPOSED SIGNS		SIGNAGE IS COMPLIANT WITH ALLOWABLE SQUARE FOOTAGE. TOTAL PROPOSED SIGNAGE SQ. FOOTAGE LESS/EQUAL TO 32 SF MAX		SIGNAGE IS COMPLIANT WITH HEIGHT RESTRICTIONS. NO VARIANCE REQUIRED	

TOWN OF BROOKHAVEN - SIGNAGE RESTRICTIONS (J-5)

CHAPTER 87A, SIGNS - § 87A-6. SIGNS PERMITTED IN J-5 ZONING DISTRICTS. SITE PLAN APPLICATION SHALL PROCEED UNDER THE J-5 ZONING CRITERIA PURSUANT TO THE BROOKHAVEN TOWN CODE.

DETACHED OR GROUND SIGN RESTRICTIONS

- ONE GROUND SIGN, NOT TO EXCEED 24 SQUARE FEET IN AREA PER SIGN FACE AND 12 FEET IN HEIGHT ABOVE THE MEAN LEVEL OF THE GROUND, NOT TO EXTEND OR PROJECT BEYOND ANY LOT LINE.

WALL SIGNAGE RESTRICTIONS

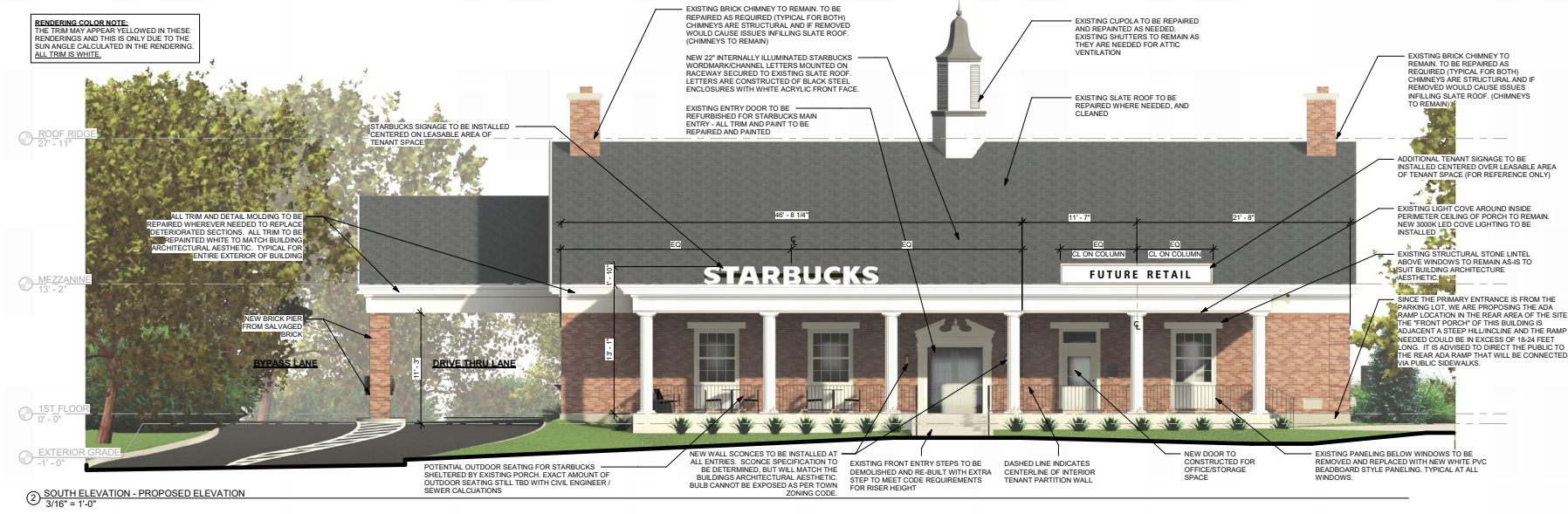
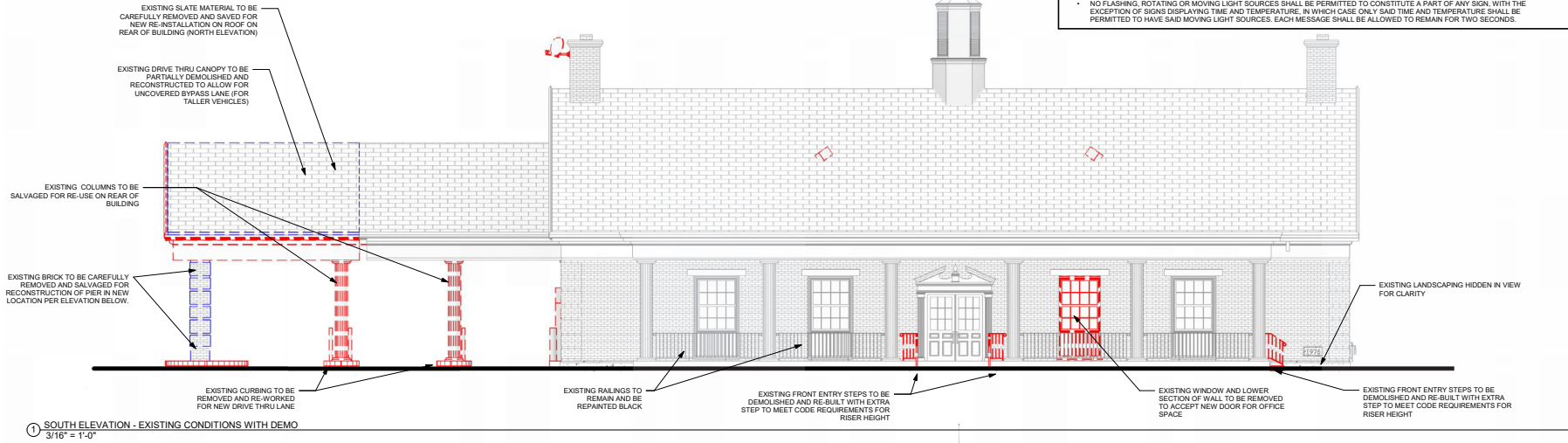
- THE MAXIMUM NUMBER OF SIGNS ALLOWED FOR EACH STORE WALL IS 1 SIGN.
- THE AREA OF THE LARGEST SIGN MAY NOT EXCEED TWO SQUARE FEET PER LINEAR FOOT OF WALL WIDTH TO A MAXIMUM OF 40 SQUARE FEET. OTHER PERMITTED WALL SIGNS MAY NOT EXCEED 32 SQUARE FEET.
- SIGN IS NOT WIDER THAN BUILDING UPON WHICH IT IS PLACED.
- CANNOT PROJECT MORE THAN 1 FOOT FROM SUCH WALL AND NECESSARY CANOPY SIGNS OR LIGHTING DEVICES NO MORE THAN 2 FEET FROM WALL. IN NO CASE SHALL EITHER THE SIGN ITSELF OR THE LIGHT EXTEND INTO ANY RIGHT-OF-WAY.
- SIGN DOES NOT EXTEND HIGHER THAN THE ROOF OF ANY BUILDING.
- THE SIGN IS NOT HIGHER THAN THE DISTANCE BETWEEN THE HEAD OF THE WINDOWS OF ONE STORY AND THE LOWER SILL COURSE OF THE WINDOWS OF THE NEXT HIGHER STORY OR THE TOP OF THE PARAPET WALL IF A ONE-STORY BUILDING.
- NO EVENT SHALL THE TOP OF THE SIGN BE HIGHER THAN 18 FEET ABOVE THE MEAN LEVEL OF THE GROUND.

CANOPY SIGNAGE RESTRICTION

- CANOPY SIGNS NOT TO EXCEED ONE SQUARE FOOT PER LINEAR FOOT OF CANOPY WIDTH TO A MAXIMUM OF 12 SF.

CHAPTER 87A SIGNS - § 87A-11. ILLUMINATIONS

- ILLUMINATION OF SIGNS SHALL BE ACCOMPLISHED BY MEANS OF SHIELDED LIGHT SOURCES OR IN SUCH OTHER MANNER THAT NO GLARE SHALL EXTEND BEYOND THE PROPERTY LINES OF THE PROPERTY UPON WHICH SUCH SIGNS ARE LOCATED, AND NO GLARE SHALL DISTURB THE VISION OF PASSING MOTORISTS OR CONSTITUTE A HAZARD TO TRAFFIC.
- NO FLASHING, ROTATING OR MOVING LIGHT SOURCES SHALL BE PERMITTED TO CONSTITUTE A PART OF ANY SIGN, WITH THE EXCEPTION OF SIGNS DISPLAYING TIME AND TEMPERATURE. IN WHICH CASE ONLY SLOW TIME AND TEMPERATURE SHALL BE PERMITTED TO HAVE SAID MOVING LIGHT SOURCES. EACH MESSAGE SHALL BE ALLOWED TO REMAIN FOR TWO SECONDS.





① EXTERIOR PERSPECTIVE 1



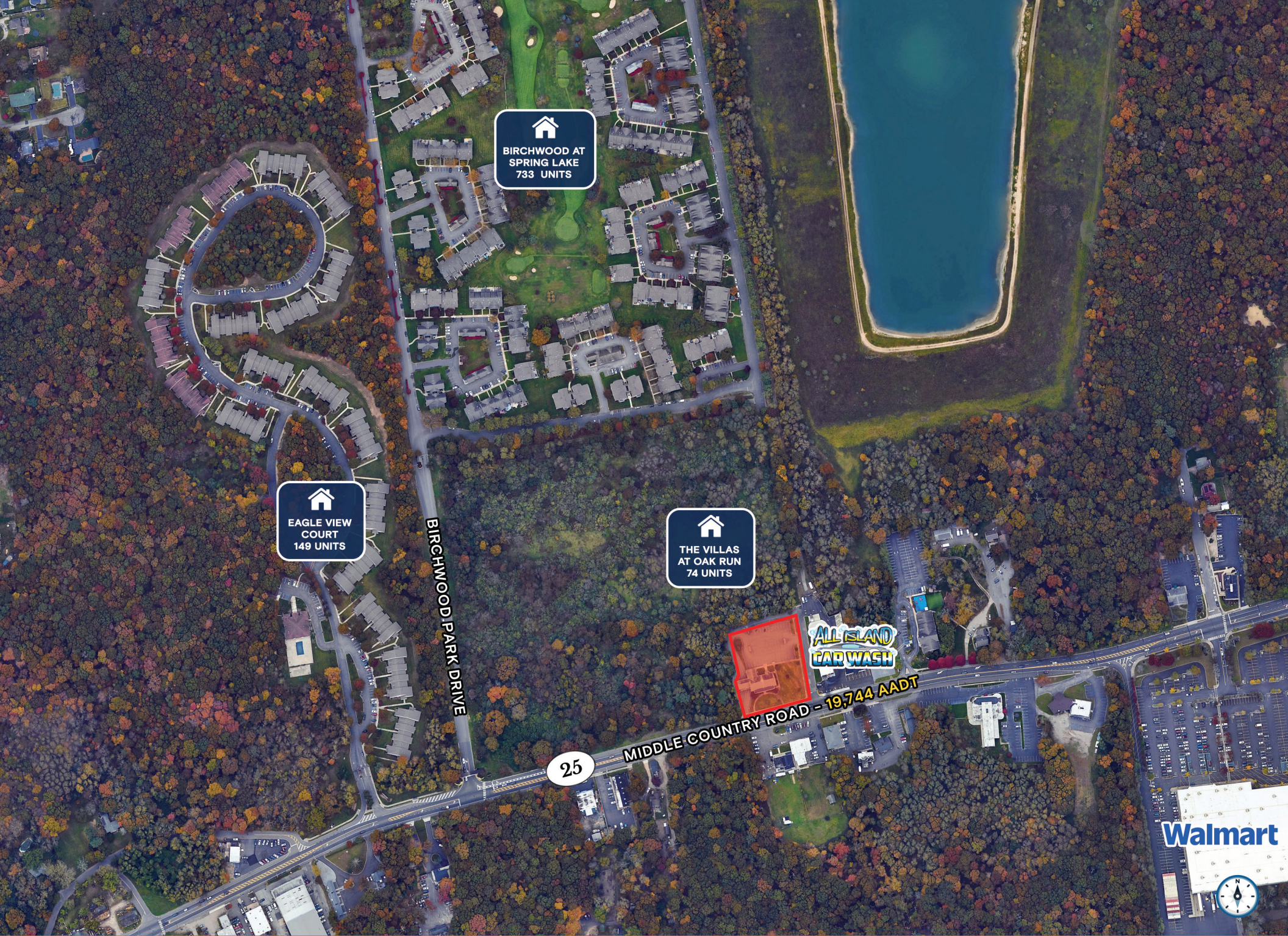
② EXTERIOR PERSPECTIVE 2



③ EXTERIOR PERSPECTIVE 3



④ EXTERIOR PERSPECTIVE 4




BIRCHWOOD AT
SPRING LAKE
733 UNITS


EAGLE VIEW
COURT
149 UNITS


THE VILLAS
AT OAK RUN
74 UNITS



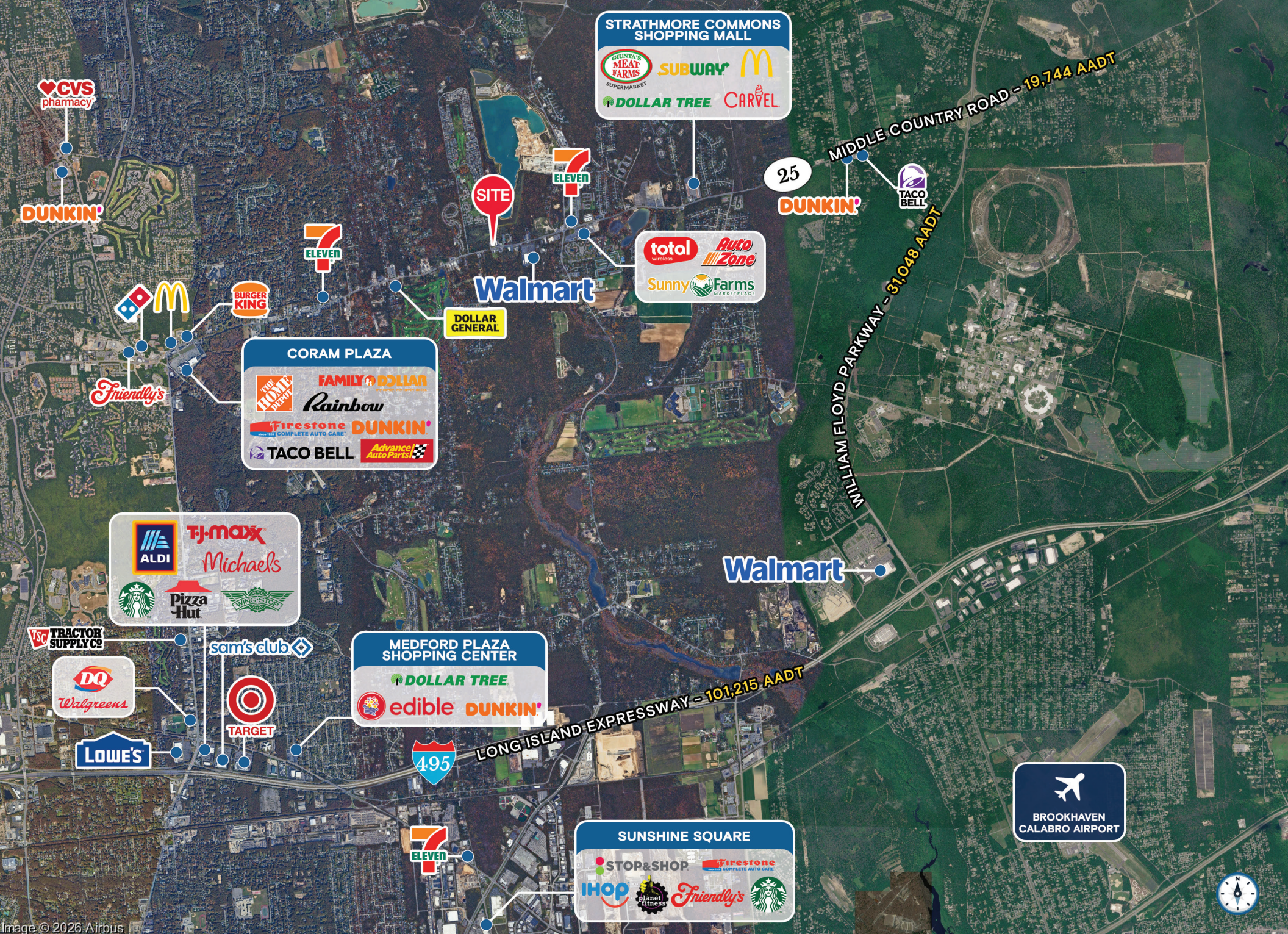
**ALL ISLAND
CAR WASH**

25

MIDDLE COUNTRY ROAD - 19,744 AADT

Walmart





STRATHMORE COMMONS SHOPPING MALL

GIUNTA'S MEAT FARMS SUPERMARKET SUBWAY MCDONALD'S DOLLAR TREE CARVEL

CORAM PLAZA

THE HOME DEPOT FAMILY DOLLAR Rainrow Firestone DUNKIN' TACO BELL Advantech Auto Parts

MEDFORD PLAZA SHOPPING CENTER

DOLLAR TREE edible DUNKIN'

SUNSHINE SQUARE

STOP & SHOP Firestone ihop Planet Fitness Friendly's Starbucks

TJ-maxx ALDI Michaels Starbucks Pizza Hut WING STOP

CVS pharmacy

DUNKIN'

SITE

7-ELEVEN

25

DUNKIN'

TACO BELL

MIDDLE COUNTRY ROAD - 19,744 AADT

WILLIAM FLOYD PARKWAY - 31,048 AADT

Walmart

Walmart

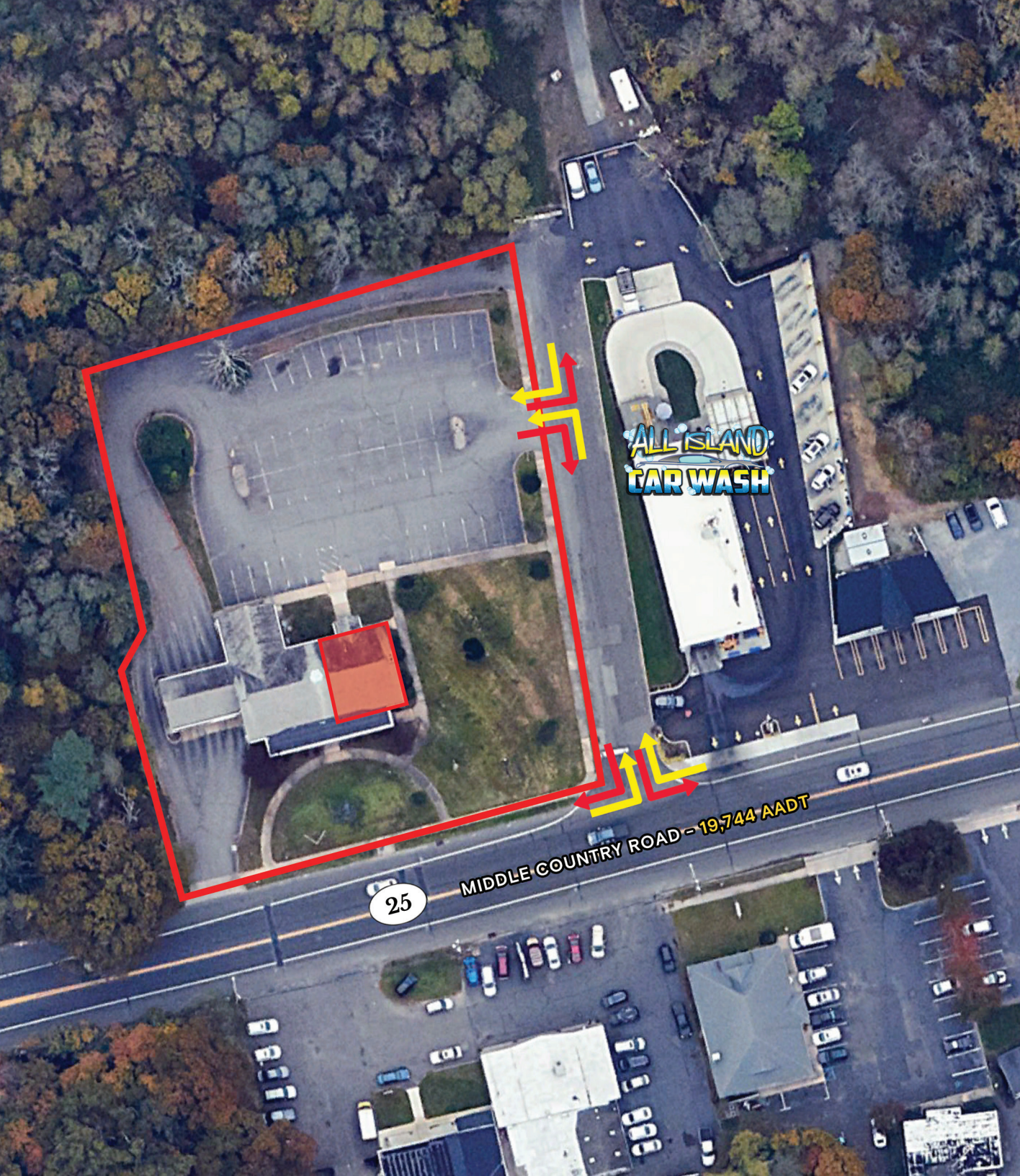
LONG ISLAND EXPRESSWAY - 101,215 AADT

495

7-ELEVEN

BROOKHAVEN CALABRO AIRPORT





Contact Brokers

Ian Goldfeder
ASSOCIATE

ian@katzretail.com
(845) 735-2254

Russel Helbling
MANAGING DIRECTOR
russelhelbling@katzretail.com
(212) 219-6515



KATZ & ASSOCIATES

RETAIL REAL ESTATE ADVISORS

katzretail.com

The information herein was obtained from third parties and has not been independently verified by Katz & Associates. Any and all interested parties should have their choice of experts inspect the property and verify all information. Katz & Associates makes no warranties or guarantees as to the information given to any prospective buyer or tenant. REV: 05.14.26