

BLOCK 194, LOT 10

BRAND-NEW RETAIL SPACE IN NEWARK'S IRONBOUND

59-65 MCWHORTER STREET & 50-56 BRUEN STREET, NEWARK, NJ



NEAR THOUSANDS OF NEW MARKET-RATE APARTMENTS

EXCLUSIVE RETAIL LEASING

KATZ & ASSOCIATES

RETAIL REAL ESTATE ADVISORS

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PROPERTY OVERVIEW

HIGHLIGHTS

- Can deliver up to 2,000 SF + basement
- Newly-constructed mixed-use building with 130 units spanning 11 floors above the retail space.
- Located less than two blocks from the renowned Ferry Street shopping corridor.
- Near Penn Station (Amtrak, NJ Transit, PATH, and dozens of bus lines) and the upcoming pedestrian bridge to Prudential Center.
- Many uses considered.

DEMOGRAPHICS

	1 Mile	3 Miles	5 Miles
POPULATION	10,559	232,908	836,898
HOUSEHOLDS	3,841	82,477	316,018
EMPLOYEES	2,766	108,620	279,251
AVERAGE HH INCOME	\$72,966	\$85,374	\$98,733

TRAFFIC COUNTS

LAFAYETTE STREET	9,790 AADT
MCCARTER HIGHWAY	48,606 AADT



BLOCK 194, LOT 10 | EXECUTIVE SUMMARY



BLOCK 194, LOT 10 | RENDERING

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BLOCK 194, LOT 10 | MARKET AERIAL



CONTACT AGENT

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