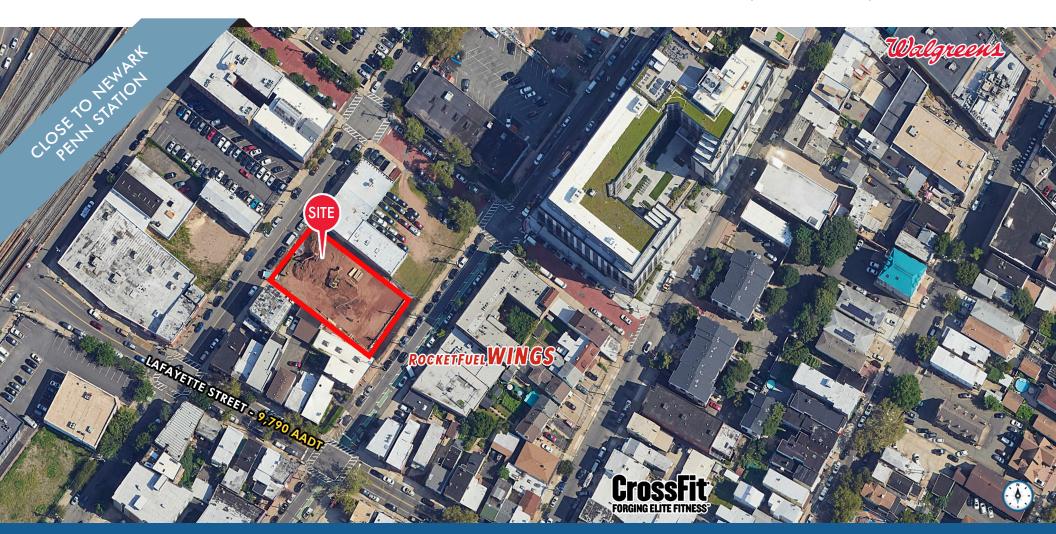
## BLOCK 194, LOT 10

# BRAND-NEW RETAIL SPACE IN NEWARK'S IRONBOUND

59-65 MCWHORTER STREET & 50-56 BRUEN STREET, NEWARK, NJ



NEAR THOUSANDS OF NEW MARKET-RATE APARTMENTS

EXCLUSIVE RETAIL LEASING



ADAM CAPLAN
DIRECTOR
adamcaplan@katzretail.com
732.619.4357

#### PROPERTY OVERVIEW

#### **HIGHLIGHTS**

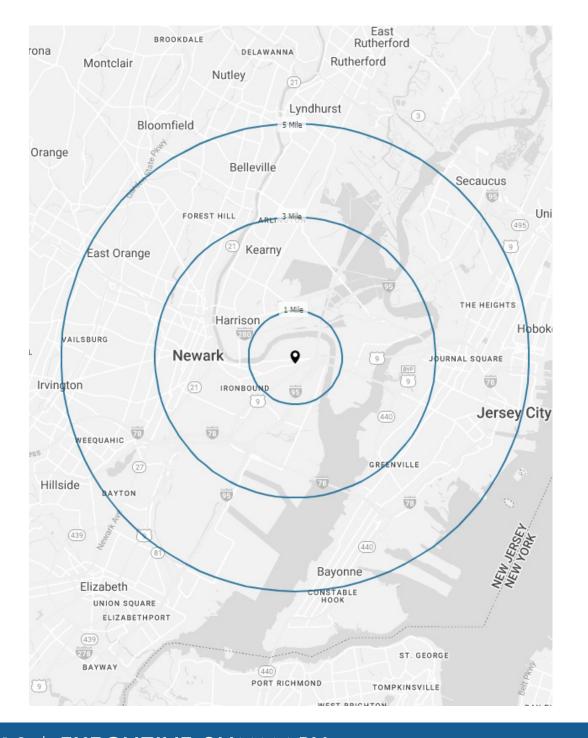
- Can deliver up to 2,000 SF + basement
- Newly-constructed mixed-use building with 130 units spanning 11 floors above the retail space.
- Located less than two blocks from the renowned Ferry Street shopping corridor.
- Near Penn Station (Amtrak, NJ Transit, PATH, and dozens of bus lines)
   and the upcoming pedestrian bridge to Prudential Center.
- Many uses considered.

#### **DEMOGRAPHICS**

	1 Mile	3 Miles	5 Miles
POPULATION	10,559	232,908	836,898
HOUSEHOLDS	3,841	82,477	316,018
EMPLOYEES	2,766	108,620	279,251
AVERAGE HH INCOME	\$72,966	\$85,374	\$98,733

#### TRAFFIC COUNTS

LAFAYETTE STREET	9,790 AADT
MCCARTER HIGHWAY	48,606 AADT



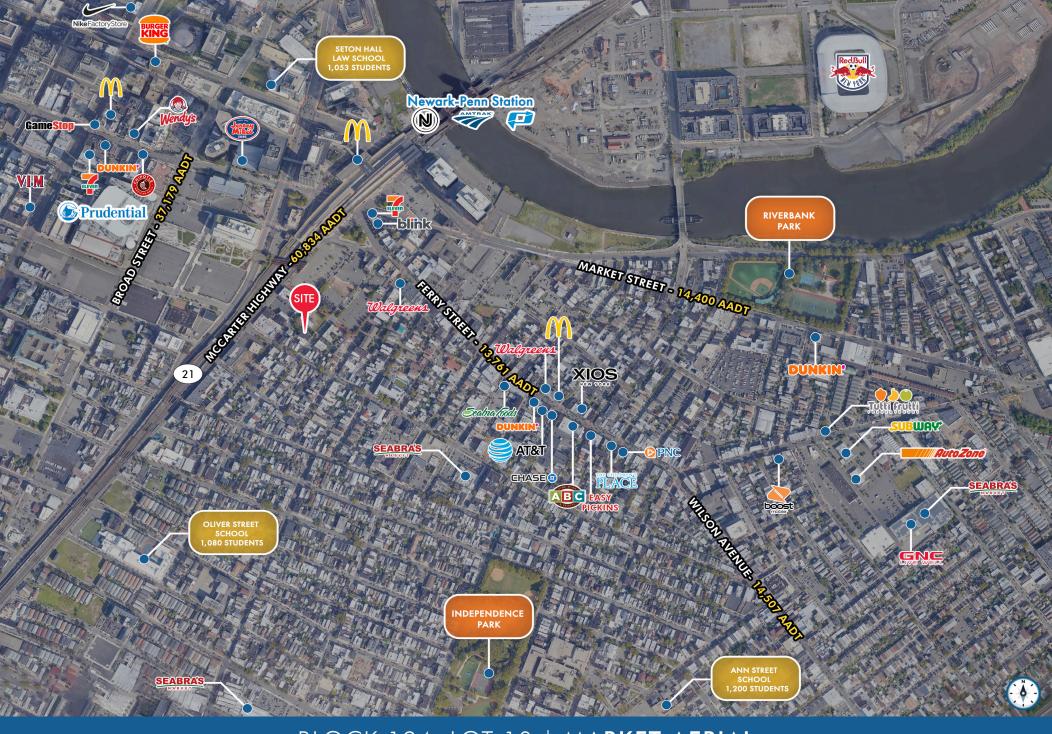
# BLOCK 194, LOT 10 | EXECUTIVE SUMMARY





# BLOCK 194, LOT 10 | RENDERING

KATZ & ASSOCIATES
RETAIL REAL ESTATE ADVISORS



BLOCK 194, LOT 10 | MARKET AERIAL





### **CONTACT AGENT**

ADAM CAPLAN
DIRECTOR
adamcaplan@katzretail.com
732.619.4357



# **KATZ & ASSOCIATES**

RETAIL REAL ESTATE ADVISORS

katzretail.com

The information herein was obtained from third parties and has not been independently verified by Katz & Associates. Any and all interested parties should have their choice of experts inspect the property and verify all information. Katz & Associates makes no warranties or guarantees as to the information given to any prospective buyer or tenant. REV: 06.27.24